

WILLIAMSON ROAD
HOLLINS VILLAGE MASTERPLAN

**DESIGN
GUIDELINES**

AS REVISED BY THE DESIGN ADVISORY COMMITTEE

JULY 15, 1996

DESIGN GUIDELINES

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DESIGN GUIDELINES

I. Project Description

Objective

The objective of this project is to foster business in the Hollins area by creating an alternative to typical commercial strip development. By using the local context of the historic Hollins village as the theme for the community's design; following traditional visual cues and environmentally sensitive development policies; and interpreting traditional town planning principles in innovative ways to meet the needs of today, Hollins village should provide a hospitable atmosphere and beautiful setting for continued renewal of offices and commerce.

Guidelines

The guidelines have been written with the intent to guide the development of Hollins Design District. They are meant to establish the overall character of the community as it is redesigned and renovated over the years, and immediately to provide a springboard for the design process. Each design project should be reviewed by the committee and revised to meet the majority's approval.

Compliance

Compliance with these guidelines is voluntary on the part of the property owner, but mandatory in order to receive financial incentives from the county (see financial incentives section). Although the guidelines are written in command form, please understand that they are recommendations. Not all businesses will want to participate.

II. ARCHITECTURAL DESIGN GUIDELINES

Principles Guiding The Architecture of Hollins

The architectural design should reflect the Village's location at the north end of Roanoke County at the southern terminus of villages in Virginia's Great Valley. Architectural styles found in historic photographs of Hollins during its spring days and early college days provide inspiration for the design of buildings.

The traditional main street found in many Great Valley towns provides inspiration for the facades of the Village. Storefronts that show a sense of entry, easy to read hierarchical orders of materials and elements that reflect the simple design of commercial buildings found in Great Valley villages, such as Lexington or Staunton. Williamson Road - the Main Street of Hollins - provides the organizing element to organize buildings.

The pedestrian scale of buildings is sought in renovation. Once the visitor parks in the tree-shaded lots at the rear of the buildings, he/she can enjoy walking to the buildings of Hollins because of the sense of detail built into the buildings. Dormers, columns, and the elements of traditional style accommodate the pedestrian.

There are two distinct building types in the Hollins commercial area: those which were intended and built for commercial use, and those which were originally built as residences and later converted to commercial use. The latter category is called "conversion" architecture, and is addressed separately.

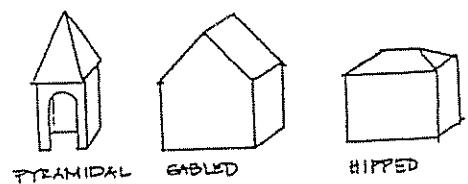
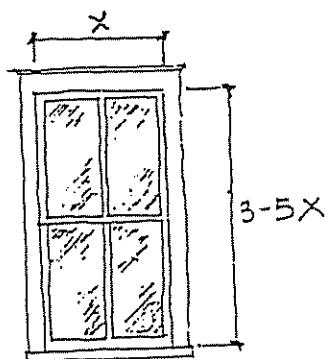
Commercial Buildings - Architectural Style and Elements

These guidelines are for buildings in the Commercial area of the Design district. They serve to guide new building designs as well as renovations of existing structures. They are not meant to be all-inclusive, and approval of the Committee should be based on quality of proposed construction as well as materials used

Materials and Architectural Considerations

1. Building Elements and relationships:

1. Porticos, or front entry areas which clearly emphasize and delineate the front door, should feature raised pediments, columns and/or other elements to guide pedestrians to the front door.
2. The front facade should face Williamson Road.
3. Side facades should be de-emphasized, except (1) where they front another major street, such as Plantation or Peters Creek Roads and/or (2) where entrances are on the side facades. Special interest is to be given where necessary.
4. Signage should occupy less than five percent (5%) of the facade area, and should not interfere with the entrance portico element.
5. Window openings should be based on the modules of ante-bellum precedent in the area (width to height in a 2-3 to 2-5 module). Rounded-top windows should be placed to emphasize special character areas.
6. Roofs may be flat, if hidden from Williamson Road by entablatures or parapets which provide adequate screening for equipment and rooftops.
7. Gable roofs, hip roofs, are encouraged, and multiple plan roofs, breaking the large mass of one gable roof into several gable roofs of different sizes.
8. Detailed massing elements of ante-bellum spring-oriented commercial buildings are encouraged, such as forms to represent chimneys, porches, roof overhangs.



2. Acceptable materials for exterior walls:

1. Brick, to match older homes in the area and the buildings of Hollins College. Webster Brick Roanoke plant Stratford Flashed Range, or similar color brick, Type FBS, Grade SW, standard size
2. Painted brick, or whitewashed brick
3. Brick that is grayish-brown, gray, reddish-brown and other dark or grayish earth colors. All of these should have buff or gray mortars.
4. Native limestone with gray or dark mortar.
5. Siding that is white, off-white, or natural pastel colors. In detail areas (less than 10% of total surface) synthetic or simulated composite building products that approximate the wood patterns (vinyl).
6. In detail areas composing less than 25% of the surface and only above 6' from the ground, stucco or synthetic stucco utilizing the above color schemes.
7. Glass that is clear or lightly tinted green or smoke, to cover between 10% and 25% of the facade area.
8. Details of painted wood, wood built-up columns, wood rails and banisters, painted white, or a complementary color from the detail palette.
9. Dark anodized aluminum or dark steel details where out of pedestrian view.

Unacceptable materials:

1. Brick that is bright red, orangish-red, pink, light red, white or other colors which would be visually out of character with traditional local architecture,
2. Siding that is bright primary colors, dark colors, pink, bright silver, or other colors that would draw attention,
3. White mortar,
4. Exposed concrete block, exposed concrete or parged cement foundations,
5. Reflective glass, one-way glass, or dark-tinted glass.
6. Vertical siding

3. Building details - the following guidelines are encouraged:

1. Awnings should be from the selected color palette.

WILLIAMSON ROAD HOLLINS VILLAGE DESIGN GUIDELINES

Conversion Buildings - Architectural Style and Elements

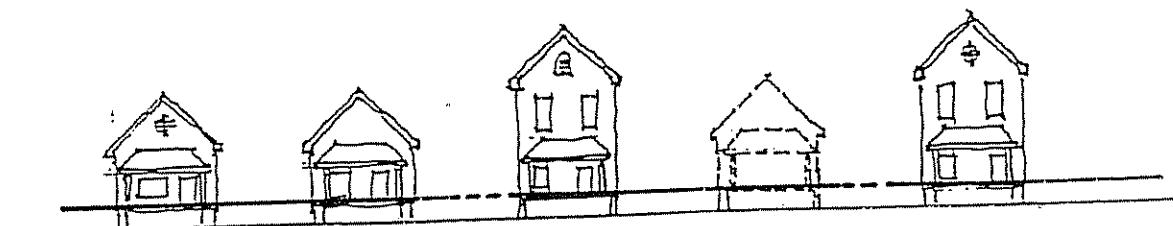
These guidelines are for buildings in the former residential area of the Design district, termed the "conversion" area. Existing structures were originally built as residences, but over the years have been renovated into commercial structures. These guidelines serve to guide new building designs built within the conversion area as well as renovations of existing structures. They are not meant to be all-inclusive, and approval of the Committee should be based on quality of proposed construction as well as materials used.

The following criteria is based on the massing, proportions and materials of the existing "conversion" architecture on Williamson Road in the project area, specifically, 7726-7768 Williamson Road.

Materials and Architectural Considerations

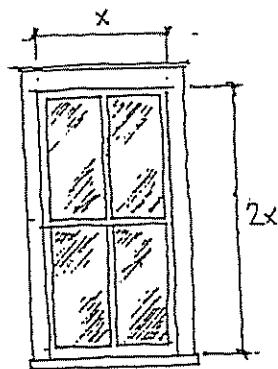
1. Building Massing

1. Structures should not be more than 40' high at the peak of the roof, and should not be more than three floors in height.
2. Each structure should not contain more than 7500 square feet, based on the maximum square footage of existing "conversion" architecture along Williamson Road.
3. Principal structures may be joined by a breezeway that is clearly subservient to the residential massing of principal structures.
4. New buildings should be formed to look like a big house, or a house with additions.
5. Where infilling between two existing residential or conversion structures, maintain continuity of building height, width, and first floor elevation, roof pitch, architectural style and porch detailing, if applicable.

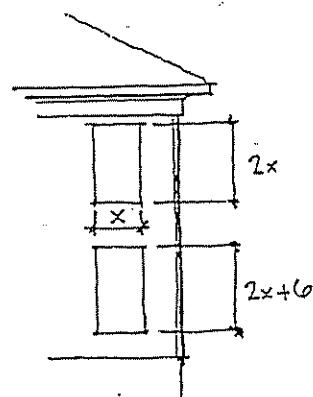
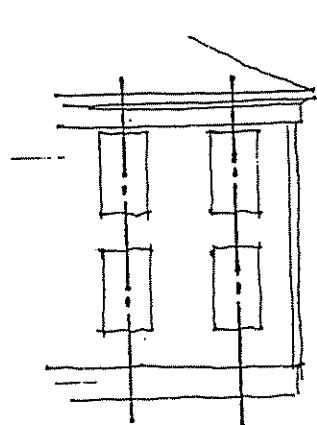


2. Building Elements and relationships:

1. Porticos, or front entry areas which clearly emphasize and delineate the front door, should feature raised pediments, columns and/or other elements to guide pedestrians to the front door.
2. The principal "front" facade should face Williamson Road, although the major pedestrian entrance may be in the back of the structure.
3. Side facades of new structures should be emphasized as residential in character.
4. Signage may be allowed on the structure, if compatible with the architecture of the building. (Refer to Main Street Guidelines for signage on buildings.)
5. Window openings should be based on the modules of ante-bellum precedent in the area (width to height in a 1-2 to 2-5 module). All windows on the same floor should have the same top elevation. The exception is rounded-top windows, which should be minimized, placed to emphasize special character areas.

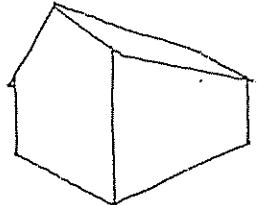
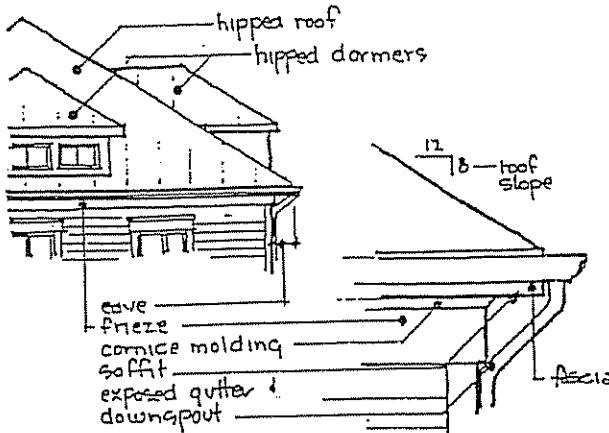


The second floor windows should be aligned vertically with the first floor windows. The first floor windows should be slightly larger (about 6") than the second floor windows. Their width should be the same

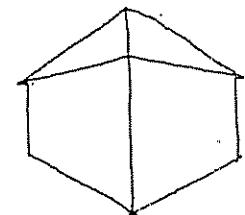


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6. Gable roofs and hip roofs are encouraged, and multiple plan roofs, breaking the large mass of one gable roof into several gable roofs of different sizes. Flat roofs are not allowed. The sharp roof pitches found on older houses in the Hollins area range from a 6:12 to a 12:12 roof slope. Details of the roof should be patterned on older local homes, as shown below:



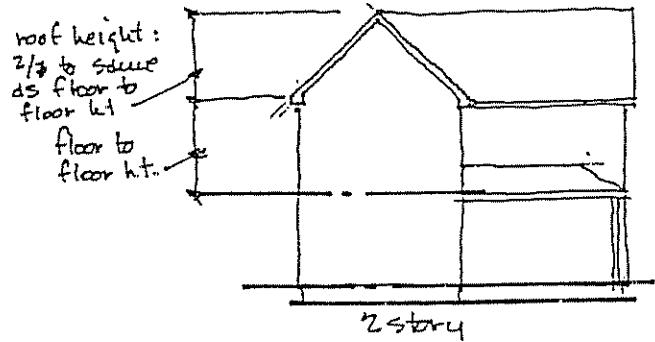
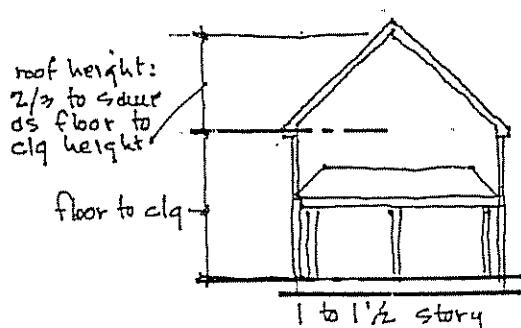
The Gabled Roof



The Hipped Roof

8. Intersecting roofs should have the same slope as the main roof

9. The roof should be in proportion to the lower part of the structure. Its vertical height from the underside of the eave to the ridge line should not exceed the floor-to-floor height, and should not be less than 2/3 the floor-to-floor height.



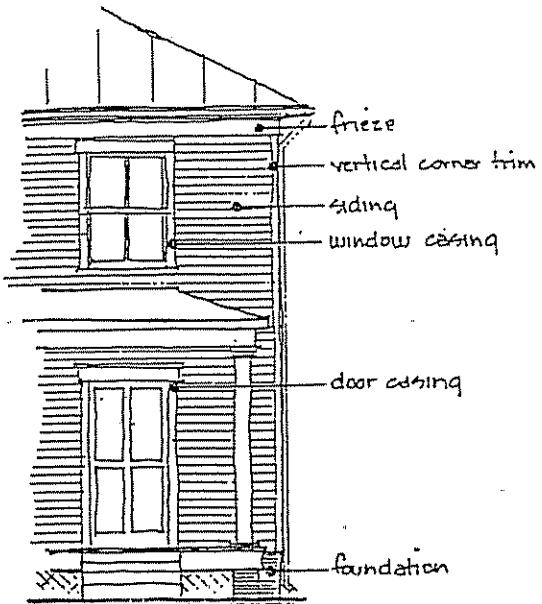
10. Detailed massing elements of pre-1930s residences are encouraged, such as forms to represent chimneys, porches, roof overhangs.

3. Acceptable materials for exterior walls:

1. Brick, to match older homes in the area and the buildings of Hollins College. Webster Brick Roanoke plant Stratford Flashed Range, or similar color brick, Type FBS, Grade SW, standard size
2. Painted brick, or whitewashed brick.
3. Brick that is grayish-brown, gray, reddish-brown and other dark or grayish earth colors
All of these should have buff or gray mortars.
4. Native limestone with gray or dark mortar

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5. Horizontal siding that is white, off-white, or natural pastel colors. In detail areas (less than 10% of total surface) synthetic or simulated composite building products that approximate the wood patterns (vinyl). (Horizontal siding is desired because of its superior scale, texture, and shadow lines.)
6. In detail areas composing less than 25% of the surface and only above 6' from the ground, stucco or synthetic stucco utilizing the above color schemes.
7. Glass that is clear or lightly tinted green or smoke, to cover between 10% and 25% of the facade area.
8. New details of painted wood, wood built-up columns, wood rails and banisters, door casings, friezes, window casings and vertical corner trim (on siding structures) painted white, or a complementary color from the detail palette, are encouraged to complement, but not copy, the original residential character of the building



Unacceptable materials:

1. Brick that is bright red, orangish-red, pink, light red, white or other colors which would be visually out of character with traditional local architecture,
2. Siding that is bright primary colors, dark colors, pink, bright silver, or other colors that would draw attention.
3. White mortar
4. Exposed concrete block, exposed concrete or parged cement foundations.
5. Reflective glass, one-way glass, or dark-tinted glass.

4. Roof - acceptable materials:

1. Wood shakes or shingles,
2. Standing seam copper,
3. Architectural grade fiberglass or asphalt shingles with texture. Preferred colors include medium to dark gray, charcoal, grayish-brown, grayish-buff or dark brown. Other soft earth tone colors that are of medium to dark value are acceptable,

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4. Roof vents, chimney caps and plumbing vents should match the color of the roof, or should be black, dark gray or bronze.
5. Skylights should have black, bronze or gray trim,
6. Dormers.

Unacceptable materials:

1. Shiny metal roofs, whether metal, aluminum or galvanized metal,
2. Metal shingles or stamped metal decorative roofing panels,
3. Flat roofs or primary roofs with a pitch of less than 8:12,

5. Building details - the following guidelines are encouraged:

1. Awnings should be from the selected color palette.

II. SITE PLANNING DESIGN GUIDELINES

Principles Guiding The Site Plan

The site design should reflect the Hollins village's history as a resort and college-oriented commercial cluster with rural areas beyond. Views to Tinker Mountain are emphasized, with the foreground designed to be safer, less visually objectionable and more aesthetically pleasing.

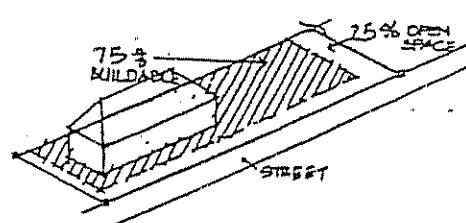
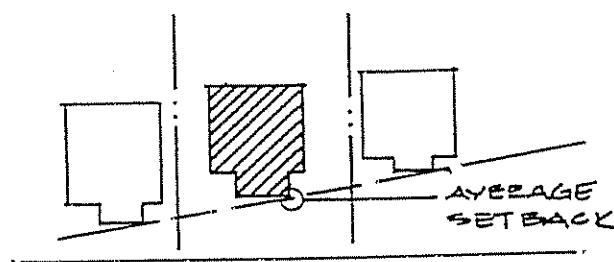
The pedestrian is given special consideration in a village. Once the visitor parks in the tree-shaded lots at the rear of the buildings, he/she can enjoy walking from car to building through carefully detailed surroundings.

The *main street* is emphasized by encouraging parking and service in the rear of the structures.

Site Coverage and Grading Regulations

1. Setback and coverage - the following guidelines are encouraged.

1. The front setback should be 30' from the right-of-way. Where the adjacent structures are within 30' of the right of way, and the development proposal is within the architectural guidelines of this section, new principal structures may be located the average of the adjacent principal structures on either side



2. Twenty five percent of the lot area should remain for planting areas and grass. If a planting area of twenty feet or greater remains between Williamson Road and built structure or parking, the green coverage may be reduced to fifteen percent.
3. The building square footage may be 50% of the total lot area. Where the building complies with the architectural section of the guidelines, the building may be 60% of the total lot area.

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2. Site Structures

1. Accessory buildings must be set behind the front line of the building, as seen from Williamson Road.
2. Fences should be set behind the front line of the building.
3. Outside storage should not be visible from Williamson Road, Plantation or Peter's Creek Roads, or from the entrance area of Hollins College. Screening should be in compliance with the county buffer ordinance, using plants of the landscape section of these guidelines.

3. Tree Preservation

1. No tree with a girth of over 30" caliper shall be removed unless necessary for construction of the business building.
2. No tree above 30" caliper should be removed in the front of the business structure between structure and roadway.

4. Cut and Fill

1. All slopes greater than 2:1 should be planted with ground cover.
2. The top of the slope and the bottom of the slope should be rounded in accordance the following formula:

	SLOPE RATIO	GRADE DIFFERENTIAL
Top:	4:1	5% of the graded height
Transition:	3:1	10%
Middle of Slope:	2:1	70%
Transition:	3:1	10%
Bottom:	4:1	5%

Circulation and Parking

1. Parking

1. 1 space for 200 square feet is required for commercial space, or other requirements as detailed in the parking ordinance. 5% of the parking area within the curbs should be left in landscaped islands, with the majority of the islands on the Williamson Road side of the lot. If 10% of the lot remains in landscaped islands (one for each 10 parking spaces) the requirement for parking is reduced to 1 space for 250 square feet.
2. Service or loading spaces shall meet the design standards of the code. Landscaping from the palette in the landscape section of these guidelines or low walls are permitted to screen views.
3. New parking in the rear of facilities is encouraged. Where parking is redesigned behind the front line of the building, the requirement for parking is reduced to 1 space for 250 square feet.

5. Site Access

1. New curb cuts should be a minimum of 50' from each existing curb cut or driveway entrance.
2. Shared access at curb cuts is encouraged. Where shared access is achieved, or new shared access which eliminates existing access points, parking and lot coverage bonuses mentioned above are awarded.

IV. SITE AMENITIES GUIDELINES

Principles Guiding Hollins Site Elements

The elements of the site convey a sense of place for residents and visitors. Reflection on historic precedent conveys the Hollins community sense of pride toward place.

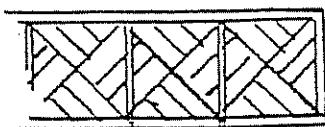
A unique palette of site materials distinguishes Hollins from other parts of the County. There are traditional site planning elements, such as wood fences, brick walls, wood benches, combined with necessities of current commercial infrastructure - quality signs and quality lighting that complement the architectural style of the building.

Quality landscape detail is sought in renovation. Elements of landscape style accommodate the pedestrian, which serves to bring clients back to the Hollins village center.

Walls and Terraces

1. Walls

1. Retaining walls should be made of brick or native field stone, in compliance with the architectural guidelines of this section. Serpentine brick walls are encouraged.
2. Screening fences should be made of wood, stained or painted. Pressure-treated wood should be stained after proper curing.
3. Brick caps shall be used on walls of brick - consider special shapes.
4. Railings shall be of painted or stained wood, wrought iron, tubular steel or steel plate and bar stock in shapes reflective of spring-era designs.



Unacceptable Materials:

1. Exposed or painted concrete block, split-face Concrete Masonry Units, exposed concrete.

2. Terraces

1. Commercial renovation or new construction projects of \$200,000 or more should build into the project semi-public plaza space of 100 square feet for each 5000 square feet renovation or new construction. The terrace can serve as an entrance area, outdoor seating area, smoking area or other amenity area.
2. Acceptable terrace materials are sand-set or slab-set non-painted brick as described in the architectural guidelines, bluestone, other native non-slip stone or concrete.

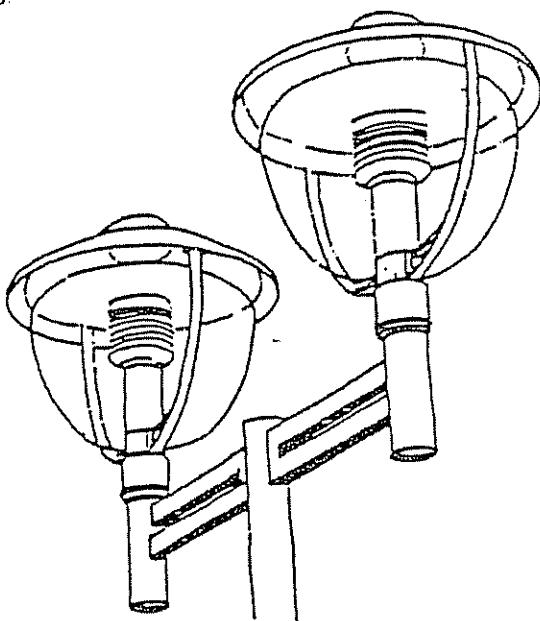
Exterior Lighting

1. Light Poles

1. Light Poles should be less than 25' tall.
2. Poles, posts, light stansions, and other light details should be black, gray, grayish-brown or natural earth tones in color. White, galvanized metal, bright colors and other visually intrusive materials should be avoided.

2. Light Fixtures

1. Metal halide lighting should be used to illuminate buildings and signs, because of its high quality color lighting
2. Path and landscape lighting should consider low-voltage systems, for energy efficiency and quality of light.
3. Lighting for signs shall be with in-ground units, that should not direct light toward the road, parking lots, or into pedestrian eyes.
4. Lighting for parking lots should be sodium vapor.
5. Details of parking-lot lighting fixtures be lamp-style, to be compatible with existing ornamental fixtures on college campus.



Signage

1. Type and Amount of Signage , Limits to Signage

1. Businesses may consider three types of signage: monument signs, entry or directional signs and marquee lettering.
2. (A.) Monument Signs for Non-retail Businesses - those with a solid base near ground level, shall not exceed seven (7) feet in height, or ten (10) feet in width. The signs shall be constructed using the Committee's approved materials and colors. They shall not be back-lit. Ground lighting is allowed by shielded lamps placed so as to not cast light directly onto the path of traffic on the road. One monument sign is allotted per commercial parcel. Monument signs may acknowledge the name or logo of the development.
(B.) Monument Signs for Retail Businesses - those with a solid base near ground level, shall not exceed seven (15) feet in height, or ten (10) feet in width. The signboard portion shall not exceed eight (8) feet in height. The base shall be at least 50 % the width of the signboard portion. The signs shall be constructed using the Committee's approved materials and colors. It is recommended that no more than 50% of the background of the signboard portion be white. They may be back-lit, although it is preferred that only the letters be lit (channel lighting). Neon signs are allowed if they complement the design of the building. Ground lighting is also allowed by shielded lamps placed so as to not cast light directly onto the path of traffic on the road. One monument sign is allotted per commercial parcel. Monument signs may acknowledge the name or logo of the development.
3. Entry Signs - Up to two (2) entry signs are allotted per parcel. Entry signs (and exit signs) are permitted only where one-way site traffic occurs (due to site configuration). On site directional signs may be building mounted where they do not conflict with the architectural character of the exterior and where site space is limited. The total sign area shall not exceed twenty (20) square feet per parcel. On-site directional signs, 30' behind the curb, may be up to 60 square feet. The signs shall be constructed using the Committee's approved materials and colors.
4. Marquee Signage may be used for retail facilities within the commercial parcels or for marquees on fuel pump shelters or other site appurtenances. All marquees for retail tenants shall have individual 18" or smaller, solid letters, Times type face, colors from approved palette. Anchor stores greater than 10,000 square feet. may have up to 30" letters.
5. Total signage on site for free-standing signs which comply with these guidelines shall have a maximum area of two (2) square feet for every linear foot of frontage, or three (3) percent of the ground floor area of the principal building, whichever is less.
7. Signs should not exceed the horizon of Tinker Mountain as seen from Williamson Road at distances greater than 500' away.
8. No new off-premises advertising is allowed.

2. Existing Signs

1. Historically-compatible renovations of existing non-conforming monument and entry signs is permitted.
2. Salvage of existing sign parts for new signs is encouraged, and those parts should not be included in the maximum square footage calculation.

3. New Signs

1. Shared use of signs is encouraged for adjacent businesses.
2. Forms of new monument signs should be historically-influenced with classical lines (proportions) and detailing, such as rounded corners. Specifically, the classical proportion of the height being 50% greater than the width shall be followed. Form should complement the architectural character of the building.

4. Sign Materials

1. Monument sign base materials should be of stone or brick, or a durable material complementary to the building.
2. Sign board portions may be sand-blasted redwood, minimum 1-1/2" actual thickness, clear, all-heart, vertical grain or high density urethane minimum 1-1/2" thickness and 15#/CF density.
3. Sign boards may be fabricated aluminum, with applied premium cast vinyl graphics or applied architectural case, formed, or computer cut plastic or aluminum lettering, stud mounted to substrate with anodized or baked-on color scheme, dark in color.
4. Sign lettering should be Times - Roman typeface, laser routed, mounted, or painted.
5. Logos and/or artwork should be limited to 20% of the total sign board except where the corporate logotype and logo are the corporate signature in entirety.

5. Complementary Landscaping

1. Signs shall be complemented, accented, and enhanced by landscaping.
2. The size of the landscaping plot shall be one and one-half times the square footage of the sign.
3. Plants shall be chosen from the landscaping section.

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Landscape

Color Palette

1. Painted Walls, site structures, and 75% of each sign's coated surface should be from colors which match the palette below:

GLIDDEN 73-53

GLIDDEN 72-57

GLIDDEN 76-91

GLIDDEN 77-51

GLIDDEN 77-47

CABOT "Evergreen" solid color stain

CABOT "Navajo white" solid color stain

CABOT "Red Cedar" transparent color stain

CABOT "Cape Cod Gray" transparent color stain

CABOT "Desert Sand" transparent color stain

V. LANDSCAPE GUIDELINES FOR COMMERCIAL LOTS

Principles Guiding the Landscape Plan

The landscape of Hollins village is integral to its success. Trees and plantings should be used to create spaces as well as to screen unsightly elements.

The *public palette* emphasizes the ground plane, which draws attention away from the overhead utilities which are to remain.

The private palette is designed to harmonize with the historic plantings in the area, while providing enough variety to allow for creativity in site design. The private palette is meant to supplement the plantings required in the Roanoke County Zoning Ordinance, Chapter 30-92.

Public Right Of Way Landscape Guidelines

The public palette is very simple, designed to bring consistency to the appearance of the corridor.

Zelkova serrata (Japanese Zelkova)

Prunus "Kwansan" (Kwansan Cherry)

Tsuga occidentalis (American Arborvitae)

Hedera Helix (English Ivy)

Buxus Americana (American Boxwood)

Azaleas, Rose, Pink and White

Narcissus Thalia (Thalia daffodil)

Achillea Terra Cotta (Yarrow)

Allium Sphaerocephalum (Drumstick Allium)

Hermocallis (Daylilies)

Private-sector Landscape Guidelines

In addition to the above plants, the additional plants of the private palette are specified to be low maintenance and to provide a high-quality appearance around development in the corridor.

1. Use of Plantings:

1. Unsightly elements such as loading docks seen from Williamson Road shall be screened by tree and shrub plantings.

2. Parking Lots shall be planted with trees. A minimum of one 1-1/2" cal. tree per every ten parking spaces shall be planted. Preferably, trees shall be planted between 30' and 40' apart.
3. Perimeter Plantings shall be planted in a bed measuring a minimum of 10' wide along adjacent roadway frontages. Ten square feet of planting bed area is required for each parking space. One five-gallon shrub with a mature height of four feet shall be planted for every 50 square feet of the planting bed area. One tree shall be planted every 100 square feet of the planting bed area.

Plant Palette

This plant palette is meant as a general guideline for the entire Hollins community. It consists predominantly of native plants. Eighty percent of the plants chosen for the individual landscapes shall come from the list. Individual site variations occur that make some of these plants better candidates for selection. It is recommended that a Landscape Architect or Horticulturist be consulted to draw detailed planting designs.

The Park (criteria: native trees)

Quercus phellos (Willow Oak)
Quercus falcata (Southern Red Oak)
Liriodendron tulipifera (Tulip Poplar)
Fagus grandifolia (American Beech)
Acer saccharum (Sugar Maple)
Nyssa sylvatica (Black Gum)
Liquidambar styraciflua (American Sweetgum)
Cornus florida (Flowering Dogwood)
Cercis canadensis (Eastern Redbud)
Magnolia virginiana (Sweetbay Magnolia)

Entry Portion of your Development (criteria: large, grand trees)

Liriodendron tulipifera (Tulip Poplar)
Fagus grandifolia (American Beech)
Platanus acerifolia (London Plane Tree)
Platanus occidentalis (Sycamore)

WILLIAMSON ROAD HOLLINS VILLAGE DESIGN GUIDELINES

Parking Lot Trees (criteria: pyramidal in shape, tall: >40' mature height)

Nyssa sylvatica (Black Gum)

Quercus coccinea (Scarlet Oak)

Acer rubrum (Red Maple)

Parking Lots (criteria: rounded habit for good shade and tall: >40' mature height)

Carpinus betulus (European Hornbeam)

Fraxinus americana (American Ash)

Koelreuteria panniculata (Golden Rain Tree)

Quercus falcata (Southern Red Oak)

Quercus laurifolia (Laurel Oak)

Quercus phellos (Willow Oak)

Sophora Japonica (Scholar Tree)

Tilia cordata (Little-leaf Linden)

Zelkova serrata (Japanese Zelkova)

Around Terraces and Courtyards (criteria: smaller trees, 30' mature height found in historic plantings)

Cornus florida (Flowering Dogwood)

Cercis canadensis (Eastern Redbud)

Amelanchier canadensis (Serviceberry)

Magnolia soulangiana (Saucer Magnolia)

Magnolia stellata (Star Magnolia)

Oxydendron arboreum (Sourwood)

Chionanthus virginicus (White Fringetree)

Viburnum nudiflorum (Winterberry)

Stewartia ovata (Mountain Stewartia)

Malus floribunda (Flowering crabapple)

Hibiscus syriacus (Rose-of-Sharon)

Albizia julibrissin (Mimosa)

Evergreen shrubs for Terraces, Courtyards, Parking Lots and Signs

Arborvitae species

Buxus Americana and Sempervirens (Boxwoods)

Ilex species (Japanese, Helleri)

Ilex glabra (Inkberry)

Juniperus species (Junipers)

Rhododendron catawbiense (Catawba Rhododendron)

Rhododendron carolinianum (Carolina Rhododendron)

Taxus species (Yews)

Deciduous shrubs for Terraces, Courtyards, Parking Lots and Signs

Aronia arbutifolia (Red Chokeberry)

Berberis species (Barberry, Gold and Red)

Clethra alnifolia (Summersweet Clethra)

Euonymus Alatus (Burning Bush)

Hydrangea species

Ilex verticillata (Common Winterberry)

Lindera benzoin (Spicebush)

Viburnum species

Evergreen Trees

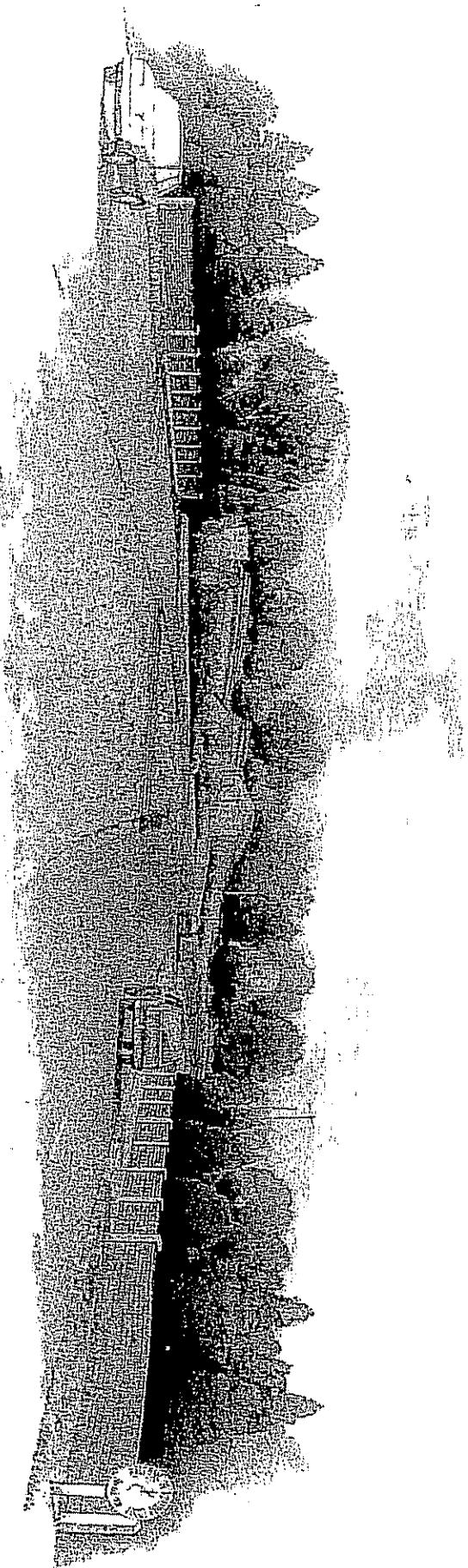
Ilex opaca (American Holly)

Picea Abies (Norway Spruce)*

Pinus echinata (Shortleaf Pine)*

Pinus taeda (Loblolly Pine)*

* Good for screening



COUNTY OF ROANOKE
WILLIAMSON ROAD CORRIDOR PROJECT